



RurAL CAP
Rural Alaska Community Action Program, Inc.

731 E. 8th Avenue
Anchorage, AK 99501
907.279.2511
www.ruralcap.org

REQUEST FOR PROPOSAL (RFP)
RurAL CAP-RH-25-R-008

Seward Housing Project Concreate Work

Prepared By: Darrel Behymer, CPP
Date: 04/16/25

Seward Housing Project Concrete Work RFP
RurAL CAP-HS-25-R-008

REQUEST FOR PROPOSAL

SUBMISSION DEADLINE: May 7, 2025 at 4PM

QUESTION SUBMISSION DEADLINE: April 30, 2025 at 4PM

BID LOCATION: Seward Alaska (please see attached Hilltop Plat Map for the 10 home locations)

Questions may be emailed to:

RFP Contact Name: Chris Blachard

Telephone Number: 907-420-7118

Email Address: chris.blanchard@ruralcap.org

INTRODUCTION

Rural Alaska Community Action Program, Inc. (RurAL CAP) Project Manager, Chris Blanchard, is requesting proposals from qualified general contractors who are licensed, bonded and insured to do business in Alaska. Enclosed is pertinent information for use in preparing your bid. This information will be used as a guide in preparing any subsequent contract. Bids must be received via email to dbehymer@ruralcap.org by 4:00 PM on May 7. All bids must include the reference on email subject, "House Package RFP," and addressed to: Darrel Behymer, CPP. Bids received after the deadline specified above will not be accepted. All questions regarding this bid request must be emailed prior to April 1 at 4 pm (Alaska Standard Time). Responses to questions will be sent to all parties who have received bid packages, proposals and who have registered their email address. To register your email, email Darrel Behymer, CPP.

One (1) copy of your proposal is required for submission to RurAL CAP.

RurAL CAP reserves the right to reject any and all bids and waive informalities in procedures.

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SECTIONS

1. General Information
2. Rules Governing Competition
3. Scope of Work
4. Proposal and Submission Requirements
5. Evaluation and Selection Process

Appendix A: Schedule A Insurance and Indemnification
Hilltop Plat Map Home Locations
3 Room House Plan
4 Room House Plan
Attachment 1: Bid Sheet

SECTION 1: GENERAL INFORMATION

The Rural Alaska Community Action Program (RurAL CAP) is soliciting proposals from qualified general contractors to pour 10 monolithic concrete slabs for three 3 bedroom homes and seven 4 bedroom homes. In floor heating (installed by the plumbers), Styrofoam must meet (5 star +) energy rating requirements.

The following proposal request will outline the project goals and detail the format you should submit your proposal. Please read the timeline carefully. In order for your proposal to be considered, your proposal must be submitted by our deadline May 7 at 4PM.

Preparation Costs & Fees

RurAL CAP shall not be responsible for bid preparation costs, nor for costs including attorney's fees associated with any (administrative, judicial, or otherwise) challenge to the determination of the highest ranked bidder and/or award of a contract and/or rejection of bids. By submitting a bid each bidder agrees to be bound in this respect and waives all claims to such costs and fees.

SECTION 2: RULES GOVERNING COMPETITION

2.1 Examination of Bids

Bidders are encouraged to thoroughly review the complete RFP package prior to preparing and submitting a response.

2.2 Confidentiality Information

The content of all bids will be kept confidential. A letter will be released to each vendor who submitted their bid if it has been accepted or not after the review committee has completed.

2.3 Proposal Format

Bids are expected to be brief and specifically address the criteria listed under the scope of work.

Seward Housing Project Concrete Work RFP
RurAL CAP-HS-25-R-008

2.4 Signature Requirements All bids must be signed.

2.5 Bid Submission
Bids shall be emailed to dbehymmer@ruralcap.org

2.6 News Releases
News releases pertaining to any award that may result from the RFP shall not be made without prior written approval of the RurAL CAP CEO.

2.7 Disposition of Bids
All materials submitted in response to this RFP shall become the property of RurAL CAP. The original shall be retained for the official file and will become public record after the award of the Contract or Contracts.

2.8 Modifications/Withdrawal of Proposals

A respondent may withdraw a bid at any time prior to the final submission date by sending written notification of its withdrawal and signed by an agent authorized to represent the respondent. The respondent may then submit a new or modified bid before the final submission date. Modifications offered in any other matter, oral or written, will not be considered. A final bid cannot be changed or withdrawn after the time designated for receipt except for modifications requested by RurAL CAP after the date of receipt.

2.9 Oral Change/ Interpretation

No oral change or interpretation of any provision contained in this RFP is valid.

2.10 Late Submissions

Bids received after the RFP deadline will not be considered.

2.11 Rejection of Proposals

RurAL CAP reserves the right to reject any or all bids if determined to be in the best interest of RurAL CAP.

2.12 Equal Employment Opportunity Reporting Requirements

The successful bidder may be required to execute and return EEO reporting forms if required.

2.13 License and Insurance Requirements

The successful bidder is required to provide, with the bid, a current Business License (or permit), Proof of Liability Insurance, Workers Compensation Insurance and other required federal, state, or local licenses. Please review attached Schedule A, this covers RurAL CAP's insurance requirements to consider while submitting your bid.

SECTION 3.0: SCOPE OF WORK

Work Details
Pour 10 monolithic concrete slabs for three 3-bedroom homes and Seven 4-bedroom homes.
In floor heating (installed by the plumbers),
Styrofoam must meet (5 star +) energy rating requirements

Contractor will provide a builder's warranty for one full year upon OCCUPANCY of the homes - not from the date the work is completed.

SECTION 4.0: PROPOSAL AND SUBMISSION REQUIREMENTS

To achieve a uniform and expedited review process and ensure the maximum degree of comparability, it is required that the bids be organized in the manner specified. Information in excess of those allowed will not be evaluated or scored. One page shall be interpreted as one side of single lined, typed, 8 1/2" x 11" paper.

4.1 Title Page

Show the bid name (RFP), bidders name, company name if applicable, address, telephone number and date.

4.2 Background and Experience

Provide your company's background and experience with similar types of projects. Also include 3 references.

4.3 Proposed Fee Schedule/Costs/Budget Limits

Bids must be submitted on Attachment 1: Bid Sheet, for services described under this scope of work. The email must clearly state the RFP name and company name. (if the bid sheet is too small, please provide your own).

4.4 Provide a copy of your Certificate of Insurance and Business License

SECTION 5.0: EVALUATION & SELECTION PROCESS

5.1 Criteria

The criteria that will be considered during evaluations, and the associated point values, are as follows:

Fee's / costs	60 points
Background and Experience	30 points
Meeting the requirements of the RFP*	10 points
Total:	100 Points
*By providing all requested documents	

5.2 Evaluation Process

A committee of RurAL CAP staff will evaluate and rank all bids received prior to the deadline.

Oral interviews are not expected to be used in the selection of the successful bidder however, RurAL CAP reserves the right to interview the highest ranked bidder if deemed necessary.

5.3 Selection Process

The highest ranked bidder may be invited to enter final contract negotiations with RurAL CAP for the purposes of contract award. If an agreement cannot be reached, the second highest bidder may be contacted for negotiations. RurAL CAP reserves the right to terminate negotiations with any bidder should it be in RurAL CAP's. RurAL CAP reserves the right to reject any and all bids submitted.

Appendix A

Schedule A INSURANCE & INDEMNIFICATION

CONTRACTOR shall comply with the provisions herein entitled, Schedule A Insurance & Indemnification. CONTRACTOR, at its sole cost, shall purchase and maintain the required insurance with coverages, endorsements, waivers, and limits as described therein.

All insurance shall be maintained continuously during the life of the Contract. CONTRACTOR shall furnish to Rural Alaska Community Action Program (RurAL CAP), certificates showing the type, amount, class of operation, effective dates, and dates of expiration of policies. Such evidence is to be provided by CONTRACTOR to RurAL CAP no less than ten (10) days prior to CONTRACTOR commencing work. It is understood and agreed that RurAL CAP shall be entitled to notification at least 30 days prior to the expiration of such policies. Failure by CONTRACTOR to maintain insurance coverage as agreed shall be a material breach of this Contract and will result in termination of this Contract. Certificates shall be addressed to: Rural Alaska Community Action Program (RurAL CAP).

RurAL CAP shall not be required to confirm that CONTRACTOR has provided evidence of coverage and/or renewals and no waiver by RurAL CAP of any of CONTRACTOR's obligations pursuant to this or any other provision of this Contract shall occur or be inferred or implied by any failure of RurAL CAP to insist upon strict performance of this or any other section of this Contract.

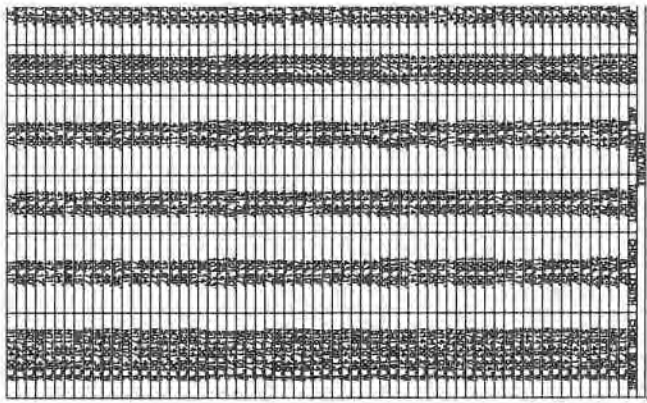
All insurance required to be maintained by CONTRACTOR shall be primary to any and all insurance (including self-insurance) obtained or maintained by, or otherwise available to RurAL CAP and all policies shall be endorsed accordingly. RurAL CAP's insurance shall not be called upon to contribute or participate with the CONTRACTOR's insurance on any basis.

Except for Worker's Compensation and Professional Liability, each and every insurance policy required of CONTRACTOR shall include an insurer's waiver of subrogation rights in favor of RurAL CAP. Each and every insurance policy required of CONTRACTOR shall be endorsed to name RurAL CAP as Additional Insured with respect to liability arising out of CONTRACTOR's operations and/or its services hereunder.

In the event the terms of the current Contract and this Schedule A conflict, the terms of the contract shall control.

Insurance Type and Limit Requirements:

- Workers Compensation for not less than \$ 500,000.00 per occurrence
- Commercial General Liability not less than \$ 1,000,000.00 per occurrence
- Automobile Liability Insurance not less than \$ 1,000,000.00 per occurrence for bodily injury and property damage

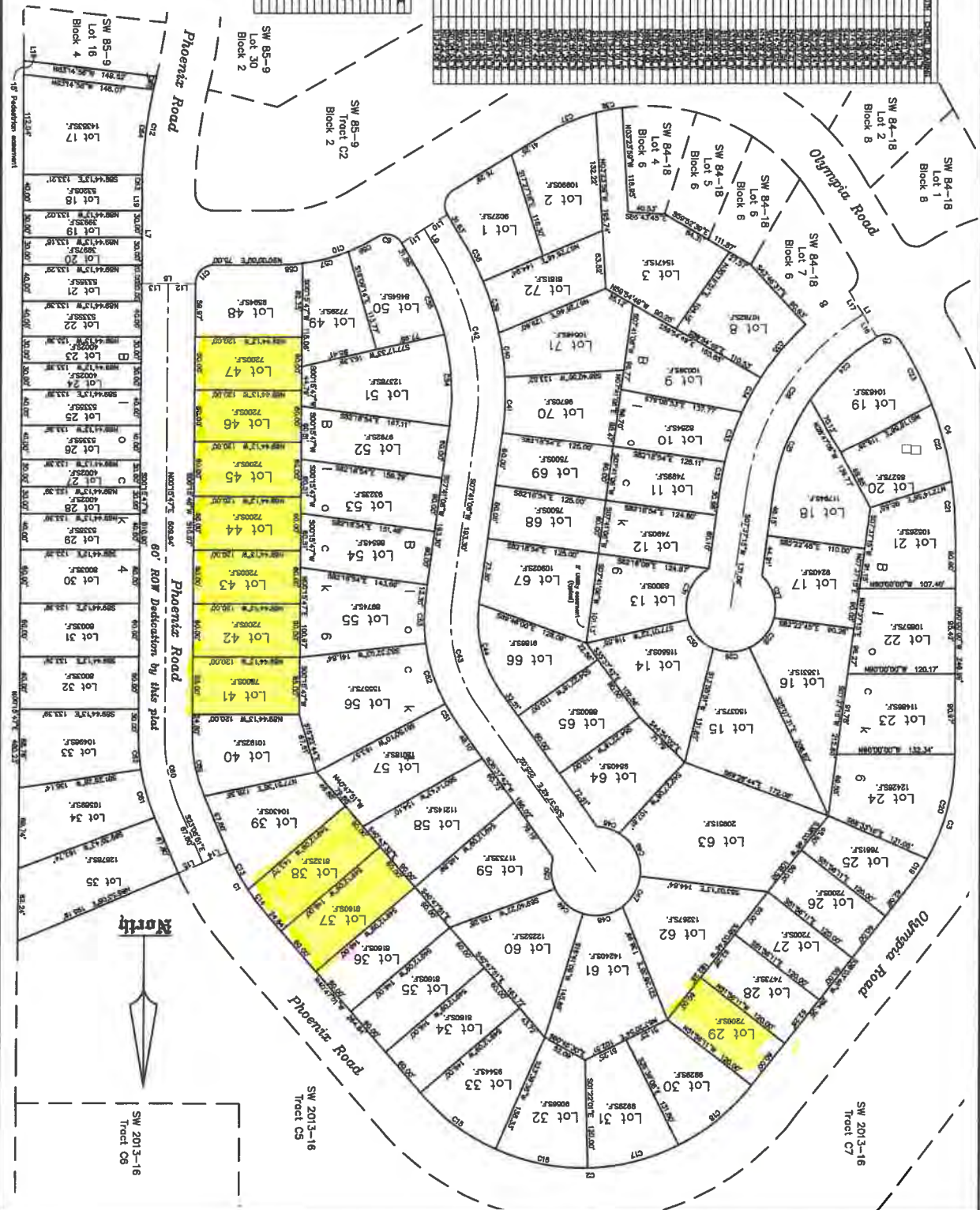


Gateway Subdivision
Hilltop Addition

1/2 of Part of Section 34, T1N, R1W, S14, 2
1/4 of Part of Section 35, T1N, R1W, S14, 2
containing 26.5± acres, more or less, owned by
east, Kendall Peninsula Borough, Alaska.

Owner:
Hilltop Properties, LLC
10000 Hilltop Drive
Anchorage, Alaska 99504
907-551-0800

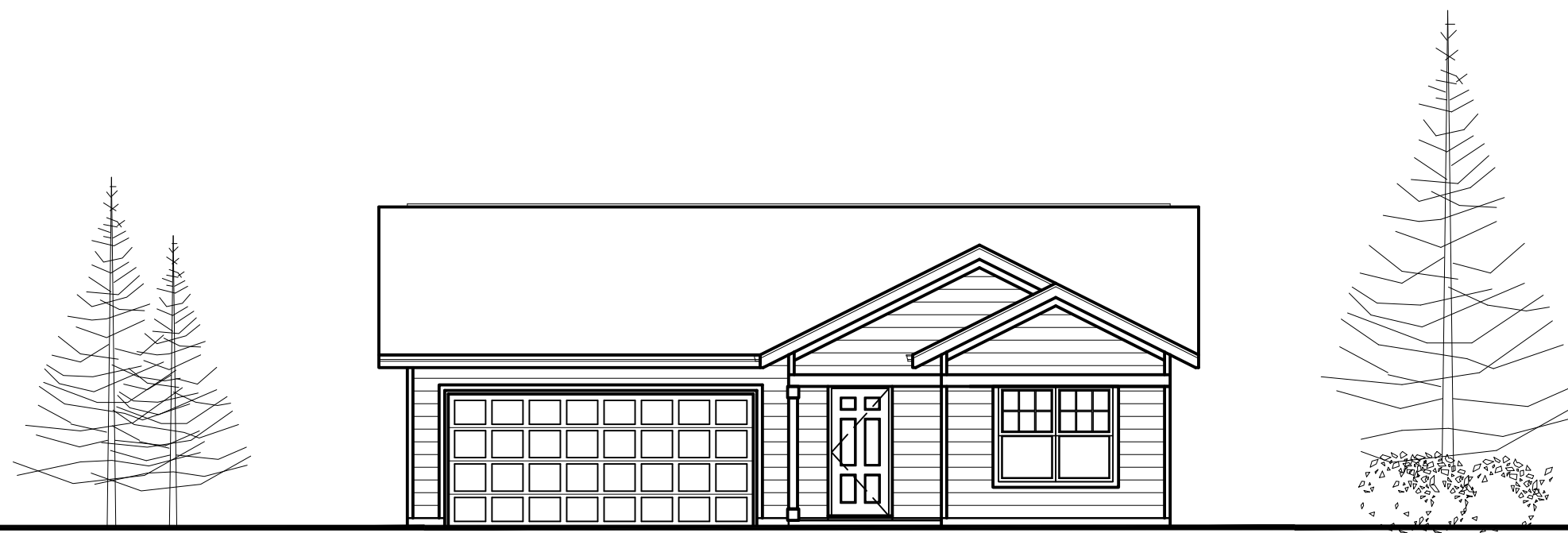
DATE: 12-2-23
SCALE: 1"=50'
SHEET: 2 of 2



1/2 of Part of Section 34, T1N, R1W, S14, 2
1/4 of Part of Section 35, T1N, R1W, S14, 2
containing 26.5± acres, more or less, owned by
east, Kendall Peninsula Borough, Alaska.

Owner:
Hilltop Properties, LLC
10000 Hilltop Drive
Anchorage, Alaska 99504
907-551-0800

DATE: 12-2-23
SCALE: 1"=50'
SHEET: 2 of 2



MODEL No. H-2055

model no.

H-2055-S

RURAL ALASKA COMMUNITY ACTION PROGRAM, Inc.

General Notes

- It is imperative that the contractor observe manufacturers' instructions and procedures in installing all material and equipment. All instructions and warranties of all materials and equipment to be delivered to the owner at completion of construction.
- Layout: It is recognized that the Contract Documents are diagrammatic in showing certain physical relationships of the various elements and systems and their interfacing with other elements and systems. Establishments and coordination of these relationships is the exclusive responsibility of the Contractor. Do not scale the drawings. Lay out and arrange all elements to carry the harmony of the design throughout the work. In case of conflict or locations not dimensioned, verify required position with Marshall Architecture.
- This project shall comply with all governing regulations, ordinances, or covenants of the project area in which it is built.
- Egress windows to have maximum sill height of 44", minimum vertical opening of 24", minimum horizontal opening of 20", and have a minimum of 5.7 square feet open area.
- Top of stair handrails to be 34" to 38" above the stair nosing and should be continuous the full length of stair run. Minimum headroom above the stair nosing to be 6'-8". Top of guardrails to be minimum 36" above finished floor. Open rail members to have less than 4" space between. Handrails to be minimum of 1-1/2", maximum of 2" in diameter, spaced a minimum of 1-1/2" from the face of wall.
- Tempered glazing required at the following locations:
 - Within 24" arc of a door.
 - Within 18" of a floor or 60" vertically of a bathtub drain.
 - Shower enclosures.
 - Within 36" horizontally of the standing surface of a bathtub or shower.
- Firestop all pocket doors, flues, and openings at the top of walls.
- Flash all exterior openings, wood trim members and roof/wall intersections with 26 gauge galvanized flashing material.
- All exterior doors and doors leading to unheated areas to be weather-stripped with threshold.
- Vent all exhaust fans to exterior. Provide rain caps with back draft dampers.
- Exhaust vent for clothes dryer to be installed per Section M1502 IRC 2006 and manufacturers' installation instructions. Exhaust ducts shall not exceed a total combined horizontal and vertical length of 15 feet including two 90-degree elbows. Five feet shall be deducted for each 90 degree elbow in excess of two.
- Center water closets in space provided (minimum 15" from vertical surfaces at sides).
- Attic ventilation shall not be less than 1/300th of the attic area as a combination of a rooftop and soffit vents.
- Garage finish- All surfaces adjacent to habitable space to be insulated and finished with 5/8" type "X" gypsum board. All structural elements supporting structure above to be wrapped with 5/8" type "X" gypsum board. R-30 Insulation in floor above. Garage to house door to be 1-3/8" solid core or a door having a fire rating of 20 minutes with spring closer hinges in a weather stripped frame with threshold.
- Exterior doors should open onto landing located not more than 1 1/2" below the top of the threshold of the door. Minimum length of the landing should not be less than 36".
- Deck framing members within 18" of exposed ground should be pressure treated or naturally decay resistant wood. Wood located nearer than 6" to the earth or in contact with concrete shall be pressure treated or naturally decay resistant.
- All exterior walls are to be 2x6's at 24" on center unless otherwise noted. Double top plate single bottom plate. All load bearing walls @ 16" O.C. All non bearing to be 24" O.C. U.O.N. by engineer

WINDOW TYPES:

- SL = HORIZONTAL SLIDER
- SH = SINGLE HUNG
- FX = FIXED FRAME
- FT = FIXED TRANSOM
- PS = PATIO SLIDER
- (T) = TEMPERED GLASS

NOTE:
ALL WINDOWS TO HAVE
U-FACTOR OF .32 OR LESS

WINDOW NOTES:

- SEE UNIT FLOOR PLANS FOR LOCATION OF ALL WINDOWS - COORDINATE WITH ELEVATIONS.
- CONTRACTOR TO VERIFY ALL WINDOW TYPES AND SIZES PRIOR TO FABRICATION
- (T) = TEMPERED GLAZING PER CODE. - CONTRACTOR TO FIELD VERIFY ALL CONDITIONS. SEE GENERAL NOTE #6.
- U.N.O. - ALL WINDOW HEADS @ 6'-10 1/2" AFF.
- 2660 SH by a window indicates a 2'-6" wide by 6'-0" high window, that is a single hung window.

DOOR TYPES:

- SC-1 3/4" SOLID CORE ENTRY DOOR (RE: ELEVATIONS)
- INTERIOR - 1 3/8" HOLLOW CORE, RAISED 6-PANEL, PAINTED
- BP - BI-PASS - HOLLOW CORE, RAISED 6-PANEL, PAINTED
- SER DR - 1 3/4" METAL, 20 MINUTE RATED, WITH CLOSER, FLUSH FINISH, PAINTED
- OH DR - SECTIONAL STEEL OVERHEAD DOOR, PAINTED
- BF - BI-FOLD - HOLLOW CORE, RAISED 6-PANEL, PAINTED
- PS - SLIDING GLASS DOOR

NOTE:
ALL OPAQUE DOORS TO HAVE
U-FACTOR OF .21 MAXIMUM

DOOR NOTES:

- AT DOOR FROM HOUSE TO GARAGE, PROVIDE SELF-CLOSER
- PROVIDE DOOR STOPS AT ALL SWING DOORS
- PROVIDE FULL PERIMETER WEATHER STRIPPING AT ALL EXTERIOR DOORS
- CONTRACTOR TO VERIFY ALL DOOR TYPES AND SIZES & COORDINATE HARDWARE REQUIREMENTS WITH OWNER
- OPTIONAL DOOR
- 3068 by a door indicates a 3'-0" wide by 6'-8" high door.

ENERGY CODE:

PERFORMANCED BASED INSPECTION MUST COMPLY WITH CHAPTER 4 OF THE 2009 IECC

DESIGN LOADS:

These plans were designed to meet the external load conditions noted below.

	Dead Loads	Live Loads
Roof, with Composite Shingles	10 psf	30 psf
Floor	10 psf	40 psf
Exterior Decks	12 psf	60 psf
Ceiling (Space above ceilings where limited storage is possible, but additional room construction is not)	10 psf	20 psf

A structural engineer or building official to be consulted regarding local conditions affecting: wind, seismic and foundation design.

FRAMING NOTES:

- FRAMING LUMBER:
 - ALL FRAMING LUMBER TO BE HEM-FIR LARCH #2 AND BETTER. Fb=2500 psi, Fv=75 psi, Fc=1250 psi, E=1,300,000 psi
2x4 STUDS TO BE HEM-FIR LARCH "STUD" GRADE. Fb=675/150 psi, Fv= 75 psi, Fc=200 psi, E=1,200,000 psi
 - TJI'S AND "MICRO-LAM'S" BY TRUS JOIST CORP. OR EQUIV. Fb=2,600 psi, Fv=225 psi, Fc=150 psi, E=1,200,000 psi
- ALL HEADERS TO BE 2-2x12 UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE MIN. 2-2x4 POST UNDER EACH END OF ALL BEAMS AND HEADERS UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE SOLID BLOCKING UNDER ALL POSTS 2-2x AND LARGER.
- SHEATH ALL EXTERIOR WALLS WITH 1/16" EXTERIOR GRADE O.S.B. NAIL O.S.B. SHEATHING W/8d NAILS AT 4" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE MEMBERS.
- PROVIDE SOLID 2x RIM JOIST AT END OF ALL FLOOR JOISTS WITH DIMENSION LUMBER FLR JOISTS AND "TIMBERSTRAND" RIM JOIST AT ALL "TJI" FLOOR JOISTS U.N.O.
- ALL METAL CONNECTORS TO BE SIMPSON STRONG TIE OR EQUIVALENT.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2x STUDS AT 16" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE U.N.O.
- ALL INTERIOR BEARING WALLS TO BE FRAMED WITH 2x STUDS AT 16" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE U.N.O.
- GLUE AND NAIL ALL MULTIPLE MEMBERS 2-2x AND LARGER W/16d NAILS AT 6" O.C. FULLY BLOCK WEBS, GLUE AND NAIL ALL MULTIPLE "TJI" FLOOR JOISTS.

- ROOF SHEATHING TO BE MIN. 5/8" O.S.B. EXTERIOR GRADE SHEATHING AND FLOOR SHEATHING TO BE MIN. 3/4" T&G PLYWOOD GLUED AND NAILED.
- FRAMER RESPONSIBLE FOR MISSING HEATING AND PLUMBING RUNS.
- PROVIDE SIMPSON H25 OR EQUAL AT ALL TRUSS AND ROOF RAFTER BEARING LOCATIONS.
- ALL FRAMING TO BE IN CONFORMANCE WITH 2012 EDITION OF INTERNATIONAL RESIDENTIAL CODE.

Drawing Legend

Drawing Notes:



The number "1" refers to plan note 1. for further information regarding the area indicated.

Drawing Reference:

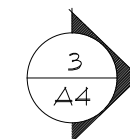
RE: 2 - A2 indicates refer to drawing 2 on sheet A2

Room Titles:

- ROOM -room name
- a-e/cft. -ceiling height/floor covering
- CPT = carpet
- LINO = sheet linoleum
- F.M.C. = Floor Material Change

Section Marker:

shows location and direction of section

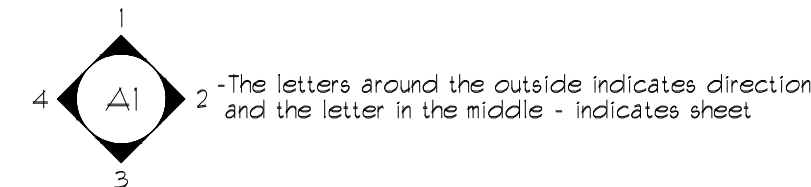


Detail Marker:

shows location and direction of detail



Interior Elevation Marker:



-The letters around the outside indicates direction and the letter in the middle - indicates sheet

Sill Plate:

sill plate location



Slope:

indicates rise of 1" in 12" horizontal length



Building Codes

- 2012 IRC
- 2012 IECC
- 2012 NEC
- 2012 IMC
- 2015 IPC

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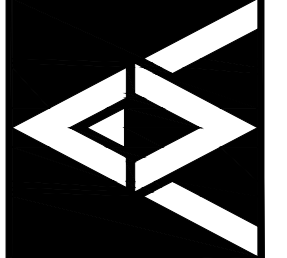
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A7	Details	01-31-20
A8	Air Barrier Details	03-14-16
A9	Framing Plans	n/a
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Revision Date

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Fax: (303) 781-9398



drawn by:

M.A.M.

checked by:

J.B.M.

date:

09-20-07

revised:

03-14-16
01-31-20

sheet index:
COVER SHEET

sheet no.

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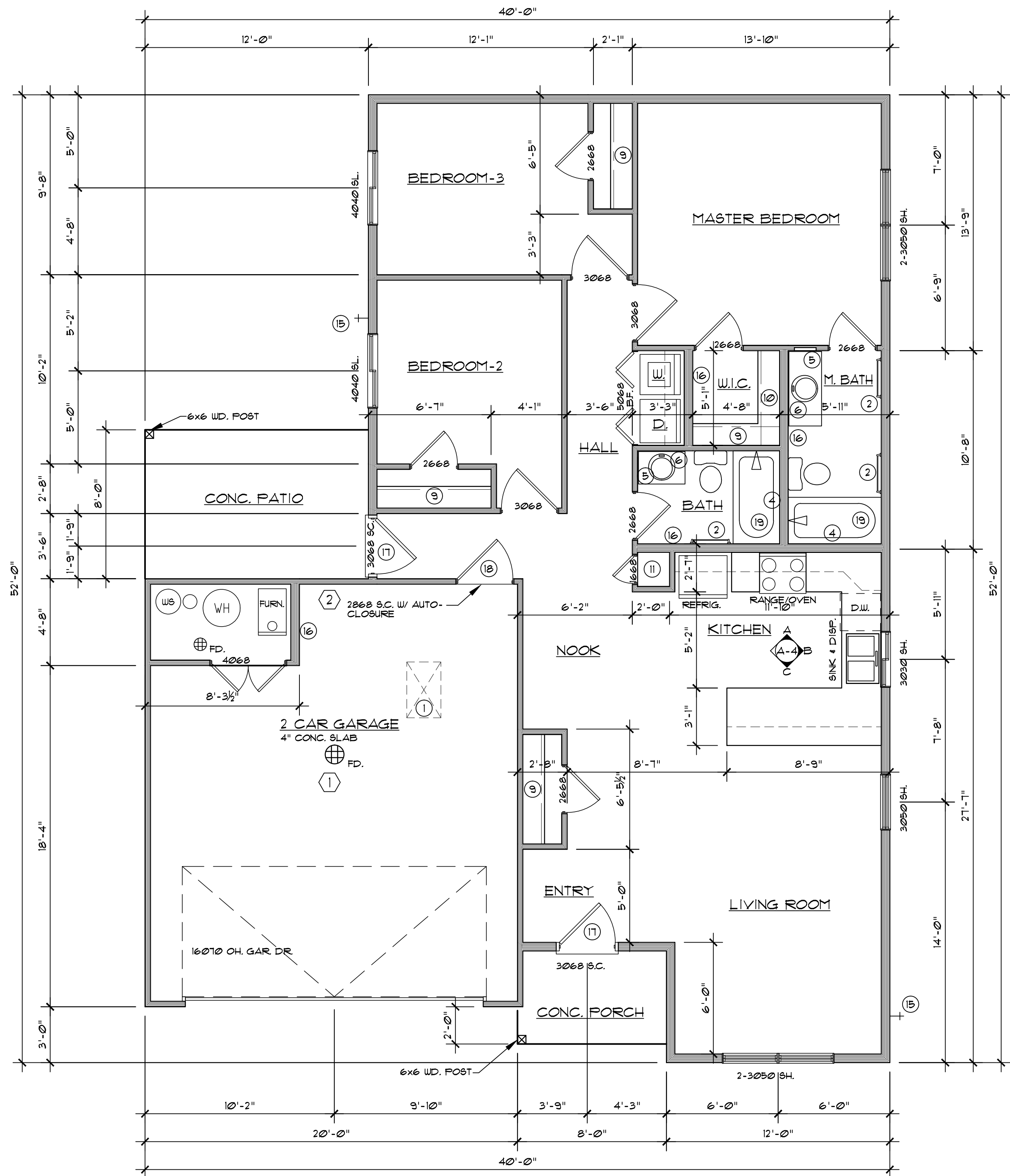
ARCHITECTURAL LEGEND

1. Provide 22"x36" attic access.
2. 24" towel bar.
3. Towel ring.
4. Soap and grab bar.
5. Recessed medicine cabinet.
6. Mirror.
7. 36"x36" shower receptor w/ tempered glass enclosure.
8. Provide 18"x24" c.s. access
9. One shelf and one rod.
10. One shelf and two rods 42" high and 40" between.
11. Linen closet - 5 shelves.
12. 34" high (min.) 38" high (max.) 1/2" x handrail.
13. 34" high (min.) 38" high (max.) 600 type grabrail w/ 2x2 balusters @ 4" o.c.
14. 36" high guardrail w/ 2x2 balusters @ 6" o.c.
15. Hose bibb.
16. 2x6 stud wall
17. Maximum vertical height measured from top of threshold of door to landing not to exceed 1 1/2". Maximum threshold height at door to interior landing not to exceed 1".
18. Door between house and garage to be 1 3/8" minimum. Changes in elevations at doors due to landings or termination of stairs, to be measured from top of door threshold.
19. Provide water-resistive type gyp. bd. @ bath walls at tub & shower locations.

GENERAL NOTES

1. Provide 5/8" Type "X" 1-hour fire rated drywall @ garage walls, ceilings and structural members adjacent to living areas as per section 3092 of the IRC. (drywall to extend to the underside of the highest roof sheathing or be installed to entire ceiling.)
2. Start top of 4" concrete garage slab, 2" below top of garage foundation wall @ rear and slope 4" down to front foundation wall over blockout (2" min. req. by code).
3. Provide 1" minimum clearance around furnace flue.
4. Install an impervious membrane between all concrete patios/porches and wood frame as per code.

NOTE: FOR BEAM SIZES AND FRAMING NOTES, REFER TO STRUCTURAL SHEETS.

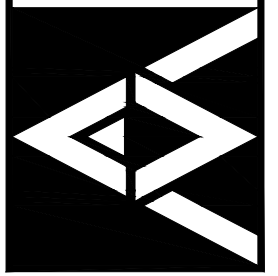


1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0" Sq. Ft. = 1202

model no.
H-2055-S
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drawn by:
M.A.M.
checked by:
J.B.M.

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03-14-16
01-31-20

sheet index:
MAIN LEVEL FLOOR PLAN

sheet no.
A3 of 10

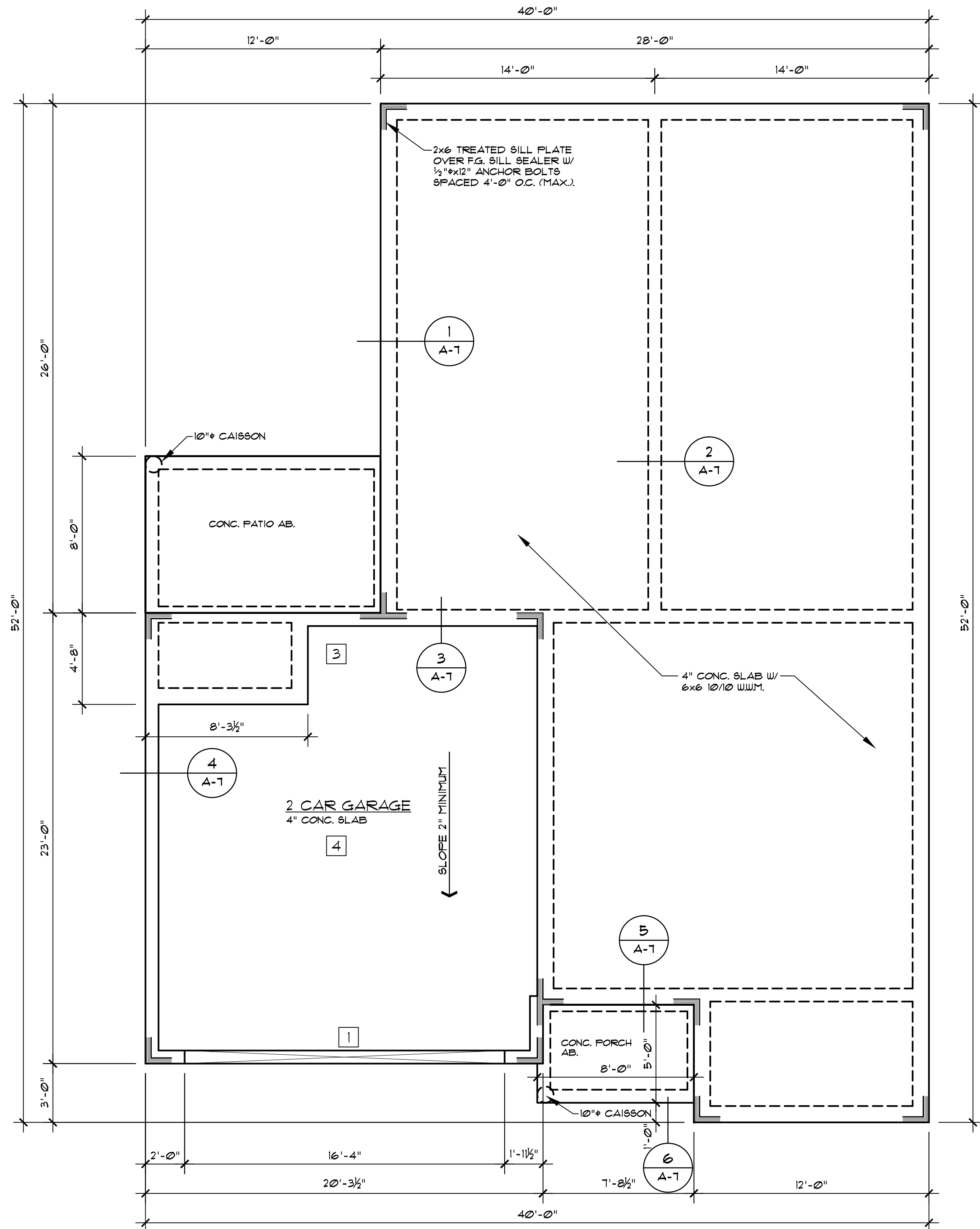
FOUNDATION LEGEND

1. Provide 14" deep blackout for 4" concrete slab and overhead garage door.
2. Provide 8" deep blackout for 4" concrete slab and garage service door.
3. Start top of 4" concrete garage slab, 2" below top of floor slab @ rear and slope 4" down to front foundation wall over blackout (2" min. required by code).
4. Provide 5/8" Type "X" 1-hour fire rated drywall @ garage walls, ceilings and structural members adjacent to living areas. (drywall to extend to the underside of the highest roof sheathing or be installed to entire ceiling.)

Do not scale drawings, use dimensions as specified on drawings.

NOTE: Foundation design shown on these drawings are conceptual only. Actual foundation design by others. Foundation design to be based upon site soil conditions and building code requirements.

NOTE: INSTALL RIDGED INSUL. TO CONC. SLAB AS REQUIRED BY IECC 2012 CLIMATE ZONE.



1 **CONC. SLAB FLOOR PLAN**
1/4" = 1'-0"

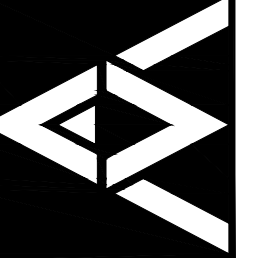
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drawn by:
M.A.M.
checked by:
J.B.M.

date:
09-20-07

revised:
01-31-20

sheet index:
CONC. SLAB FLOOR PLAN

sheet no.

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MODEL No. H-413-S

General Notes

- It is imperative that the contractor observe manufacturers' instructions and procedures in installing all material and equipment. All instructions and warranties of all materials and equipment to be delivered to the owner at completion of construction.
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 - Shower enclosures.
 - Within 36" horizontally of the standing surface of a bathtub or shower.
- Firestop all pocket doors, flues, and openings at the top of walls.
- Flash all exterior openings, wood trim members and roof/wall intersections with 26 gauge galvanized flashing material.
- All exterior doors and doors leading to unheated areas to be weather-stripped with threshold.
- Vent all exhaust fans to exterior. Provide rain caps with back draft dampers.
- Exhaust vent for clothes dryer to be installed per Section M1502 IRC 2012 and manufacturers' installation instructions. Exhaust ducts shall not exceed a total combined horizontal and vertical length of 15 feet including two 90-degree elbows. Five feet shall be deducted for each 90 degree elbow in excess of two.
- Center water closets in space provided (minimum 15" from vertical surfaces at sides).
- Attic ventilation shall not be less than 1/300th of the attic area as a combination of a rooftop and soffit vents.
- Garage finish- All surfaces adjacent to habitable space to be insulated and finished with 5/8" type "X" gypsum board. All structural elements supporting structure above to be wrapped with 5/8" type "X" gypsum board. R-30 insulation in floor above. Garage to house door to be 1-3/8" solid core or a door having a fire rating of 20 minutes with spring closer hinges in a weather stripped frame with threshold.
- Exterior doors should open onto landing located not more than 7 1/2" below the top of the threshold of the door. Minimum length of the landing should not be less than 36".
- Deck framing members within 18" of exposed ground should be pressure treated or naturally decay resistant wood. Wood located nearer than 6" to the earth or in contact with concrete shall be pressure treated or naturally decay resistant.
- All exterior walls are to be 2x6's at 24" on center unless otherwise noted. Double top plate single bottom plate. All interior load bearing walls @ 16" O.C. All non bearing to be 24" O.C. U.O.N by engineer

WINDOW TYPES:

SH = HORIZONTAL SLIDER
 SH = SINGLE HUNG
 FX = FIXED FRAME
 FT = FIXED TRANSOM
 PS = PATIO SLIDER
 (T) = TEMPERED GLASS
 (CSMT) = CASEMENT

NOTE:
 ALL WINDOWS TO HAVE
 U-FACTOR OF .32 OR LESS

NOTE:
 ALL EGRESS WINDOWS TO HAVE
 A MINIMUM 5.7 SF. CLEAR OPENING.

WINDOW NOTES:

- SEE UNIT FLOOR PLANS FOR LOCATION OF ALL WINDOWS - COORDINATE WITH ELEVATIONS.
- CONTRACTOR TO VERIFY ALL WINDOW TYPES AND SIZES PRIOR TO FABRICATION.
- (T) = TEMPERED GLAZING PER CODE. - CONTRACTOR TO FIELD VERIFY ALL CONDITIONS. SEE GENERAL NOTE #6.
- U.N.O. - ALL WINDOW HEADS @ 6'-10 1/2" AFF.
- 2660 SH by a window indicates a 2'-6" wide by 6'-0" high window, that is a single hung window.

DOOR TYPES:

6C-1 3/4" SOLID CORE ENTRY DOOR (RE: ELEVATIONS)
 - INTERIOR - 1 3/8" HOLLOW CORE, RAISED 6-PANEL, PAINTED
 BP - BI-PASS - HOLLOW CORE, RAISED 6-PANEL, PAINTED
 SER DR - 1 3/4" METAL, 20 MINUTE RATED, WITH CLOSER, FLUSH FINISH, PAINTED
 OH DR - SECTIONAL STEEL OVERHEAD DOOR, PAINTED
 BF - BI-FOLD - HOLLOW CORE, RAISED 6-PANEL, PAINTED
 PS - SLIDING GLASS DOOR

NOTE:
 ALL OPAQUE DOORS TO HAVE
 U-FACTOR OF .21 MAXIMUM

DOOR NOTES:

- AT DOOR FROM HOUSE TO GARAGE, PROVIDE SELF-CLOSER (DOOR SHALL BE SELF-CLOSING FROM THE 2/3RDS OPEN POSITION)
- PROVIDE DOOR STOPS AT ALL SWING DOORS
- PROVIDE FULL PERIMETER WEATHER STRIPPING AT ALL EXTERIOR DOORS
- CONTRACTOR TO VERIFY ALL DOOR TYPES AND SIZES & COORDINATE HARDWARE REQUIREMENTS WITH OWNER
- OPTIONAL DOOR
- 3068 by a door indicates a 3'-0" wide by 6'-8" high door.

ENERGY CODE:

PERFORMANCE BASED INSPECTION MUST COMPLY WITH CHAPTER 4 OF THE 2021 IECC

DESIGN LOADS:

These plans were designed to meet the external load conditions noted below.

	Dead Loads	Live Loads
Roof, with Composite Shingles	10 psf	30 psf
Floor	10 psf	40 psf
Exterior Decks	12 psf	60 psf
Ceiling	10 psf	20 psf
(Space above ceilings where limited storage is possible, but additional room construction is not)		
Wind	115 mph/exposure B	
Snow	30 psf ground	
Seismic	D2	

FRAMING NOTES:

- FRAMING LUMBER:
 - ALL FRAMING LUMBER TO BE HEM-FIR LARCH #2 AND BETTER.
 Fb=850/978 psi, Fv=75 psi, Fc=1250 psi, E=1,300,000 psi
 2x STUDS TO BE HEM-FIR LARCH "STUD" GRADE.
 Fb=675/750 psi, Fv= 75 psi, Fc=800 psi, E=1,200,000 psi
 - TJI'S AND "MICRO-LAMS" BY TRUS JOIST CORP. OR EQUIV.
 Fb=2,600 psi, Fv=285 psi, Fc=750 psi, E=1,800,000 psi
- ALL HEADERS TO BE 2-2x12 UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE MIN. 2-2x POST UNDER EACH END OF ALL BEAMS AND HEADERS UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE SOLID BLOCKING UNDER ALL POSTS 2-2x AND LARGER.
- SHEATH ALL EXTERIOR WALLS WITH 7/16" EXTERIOR GRADE O.S.B. NAIL O.S.B. SHEATHING W/8d NAILS AT 4" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE MEMBERS.
- PROVIDE SOLID 2x RIM JOIST AT END OF ALL FLOOR JOISTS WITH DIMENSION LUMBER FLR. JOISTS AND "TIMBERSTRAND" RIM JOIST AT ALL "TJI" FLOOR JOISTS UNO.
- ALL METAL CONNECTORS TO BE SIMPSON STRONG TIE OR EQUIVALENT.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2x STUDS AT 24" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE UNO.
- ALL INTERIOR BEARING WALLS TO BE FRAMED WITH 2x STUDS AT 16" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE UNO.
- GLUE AND NAIL ALL MULTIPLE MEMBERS 2-2x AND LARGER W/16d NAILS AT 6" O.C. FULLY BLOCK WEBS, GLUE AND NAIL ALL MULTIPLE "TJI" FLOOR JOISTS.

- ROOF SHEATHING TO BE MIN. 5/8" O.S.B. EXTERIOR GRADE SHEATHING AND FLOOR SHEATHING TO BE MIN. 3/4" T&G PLYWOOD GLUED AND NAILED.
- FRAMER RESPONSIBLE FOR MISSING HEATING AND PLUMBING RUNS.
- PROVIDE SIMPSON H25 OR EQUAL AT ALL TRUSS AND ROOF RAFTER BEARING LOCATIONS.
- ALL FRAMING TO BE IN CONFORMANCE WITH 2021 EDITION OF INTERNATIONAL RESIDENTIAL CODE.

Drawing Legend

Drawing Notes:

①

The number "1" refers to plan note 1. for further information regarding the area indicated.

Drawing Reference:

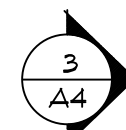
RE: 2 - A2 indicates refer to drawing 2 on sheet A2

Room Titles:

ROOM -room name
 a-e/cft. -ceiling height/floor covering
 CPT = carpet
 CRT = ceramic tile
 LAM = laminate
 F.M.C. = Floor Material Change

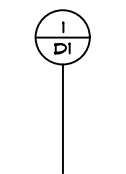
Section Marker:

shows location and direction of section



Detail Marker:

shows location and direction of detail



Interior Elevation Marker:

4 A1 2 -The letters around the outside indicates direction and the letter in the middle - indicates sheet

Sill Plate:

sill plate location



Slope:

indicates rise of 7" in 12" horizontal length



Building Codes

2021 IRC 2021 IECC
 2021 IMC
 2021 IPC
 2023 NEC

Sheet Index

A1	Cover Sheet	n/a
A2	2021 IRC Notes	n/a
A3	Main Level Floor Plan	n/a
A4	Exterior Elevations	n/a
A5	Building Sections	n/a
A6	Foundation Floor Plan	n/a
A7	Details	n/a
A8	Details	n/a
A9	Optional Solar Details	n/a
A10	Framing Plans	n/a
A11	Electrical Floor Plans	n/a

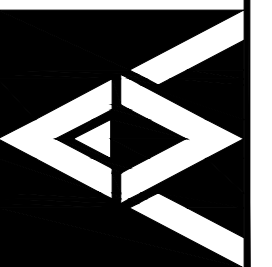
Revision Date

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drawn by:
 J.B.M.

date:
 01-23-25

revised:

sheet index:
 GENERAL NOTES

sheet no.

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ARCHITECTURAL LEGEND

1. Provide 22"x30" attic access.
2. 24" towel bar.
3. Soap and grab bar.
4. Recessed medicine cabinet.
5. Mirror.
6. One shelf and one rod.
7. One shelf and two rods 42" high and 40" between.
8. Frost protected wall hydrant.
9. Maximum vertical height measured from top of threshold of door to landing not to exceed 1 1/2". Maximum threshold height at door to interior landing not to exceed 1".
10. Door between house and garage to be 1 3/8" minimum. Changes in elevations at doors due to landings to be measured from top of door threshold.
11. Shower stall walls to be finished with a non-absorbent surface such as tile or tub surround to a height of 72" a.f.f. fiber-cement, fiber-mat reinforced cement, glass mat gypsum backers or fiber-reinforced gypsum backers in compliance with astm c 1288, c 1325, c 1178 or c 1278 respectively, and installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas.
12. Linen - 5 shelves.

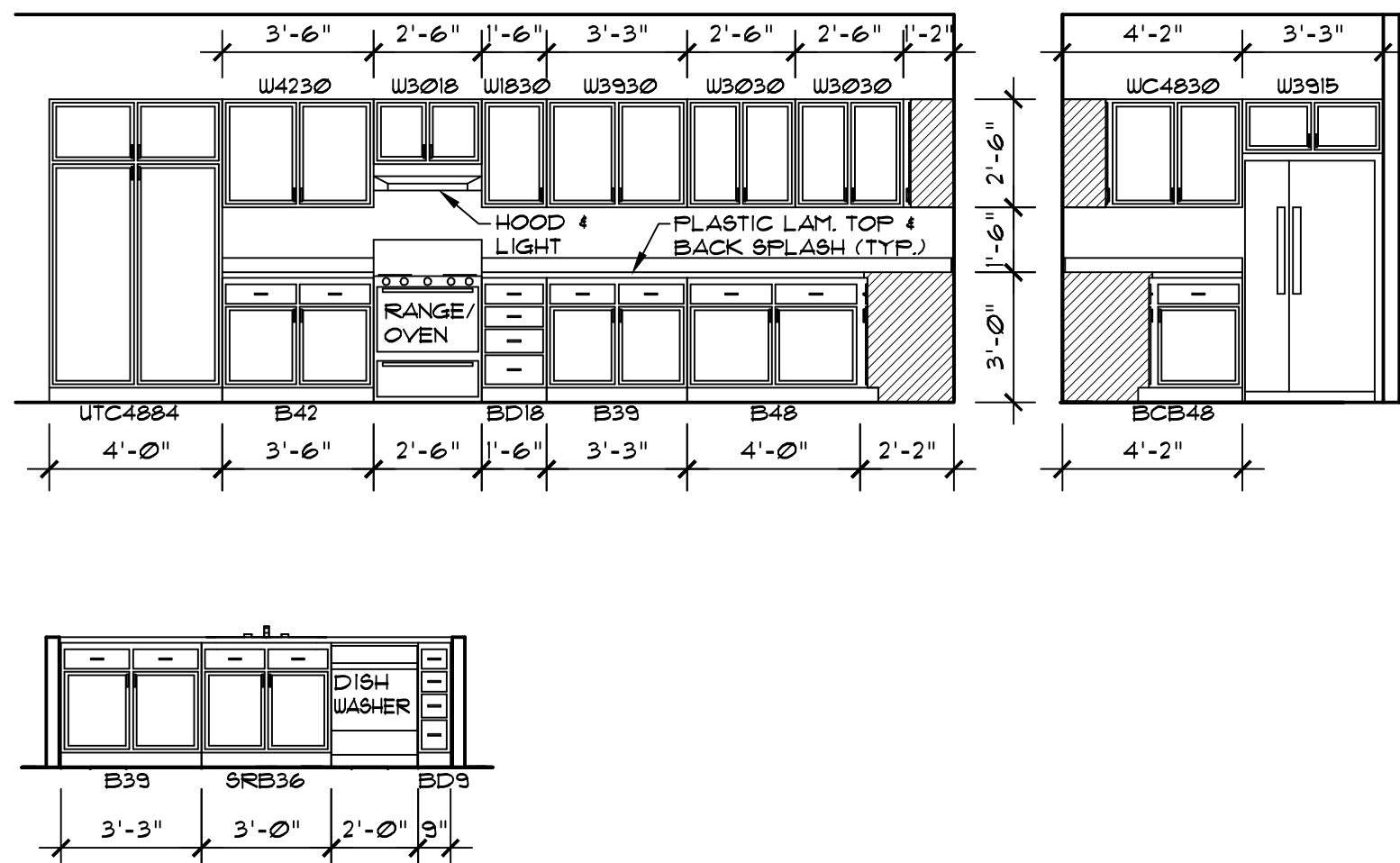
GENERAL NOTES

1. Provide 5/8" Type "X" 1-hour fire rated drywall @ garage walls, ceilings and structural members adjacent to living areas as per section 3092 of the IRC (drywall to extend to the underside of the highest roof sheathing or be installed to entire ceiling.)
2. Start top of 4" concrete garage slab, 2" below top of garage foundation wall @ rear and slope 4" down to front foundation wall over blockout (2" min. req. by code).
3. Provide 1" minimum clearance around furnace flue.
4. Install an impervious membrane between all concrete patios/porches and wood frame as per code.
5. Install Rheem 90T9-04EE5 Furnace with sealed combustion air system. (or equal)
6. Install Rheem RTG-66DYN Tank less water heater. (or equal)

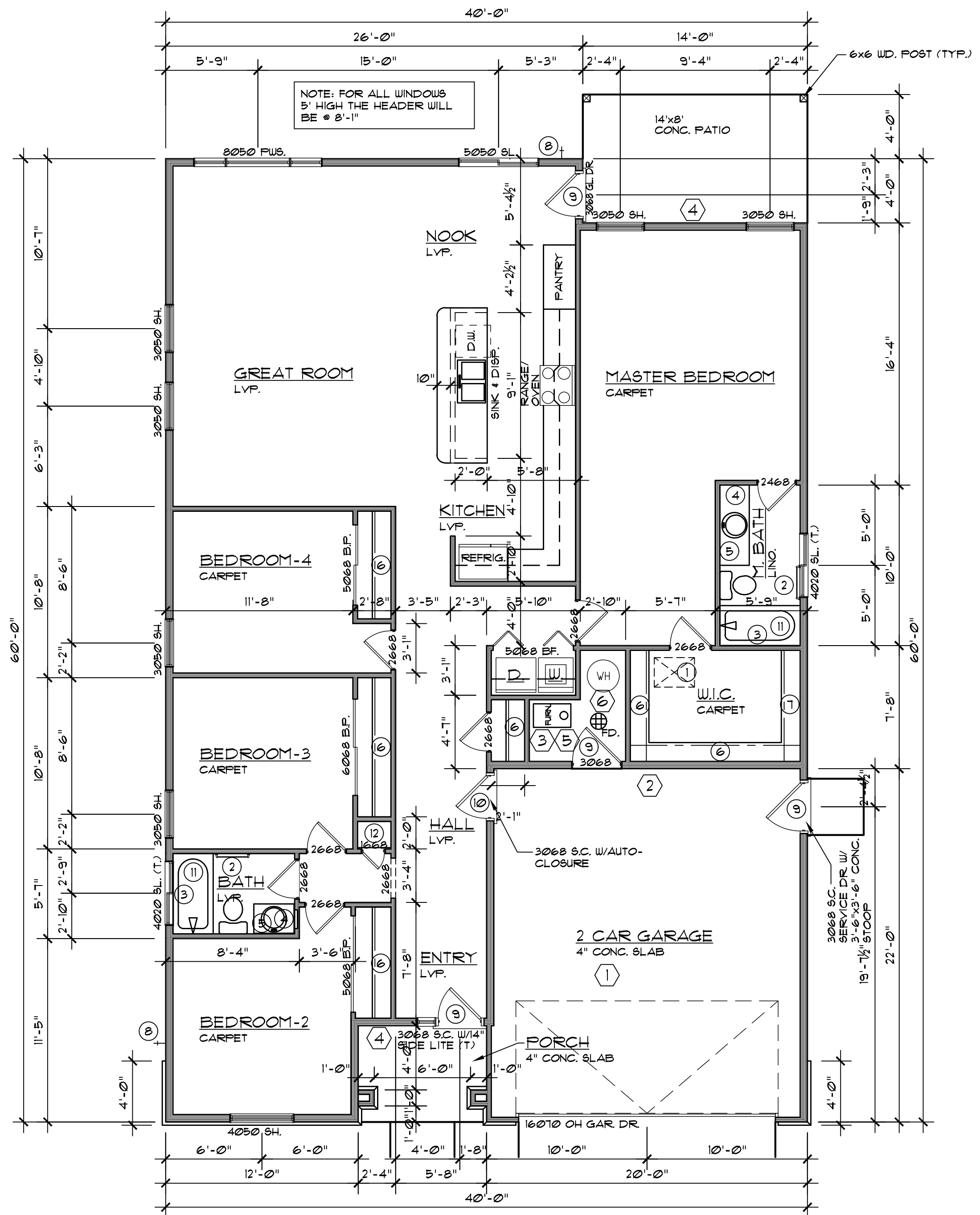
Do not scale drawings, use dimensions as specified on drawings.

NOTE: FOR BEAM SIZES AND FRAMING NOTES, REFER TO STRUCTURAL SHEETS.

NOTE: WHEN KITCHEN SINK IS LOCATED AT EXTERIOR WALL PLUMBING RUNS SHALL NOT UTILIZE WALL CAVITY.



2 KITCHEN CABINET ELEVATIONS
1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
3/16" = 1'-0" Sq. Ft. = 1861

model no.

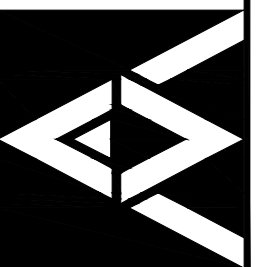
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J.B.M.

date:
01-23-25

revised:

sheet index:
FLOOR PLAN

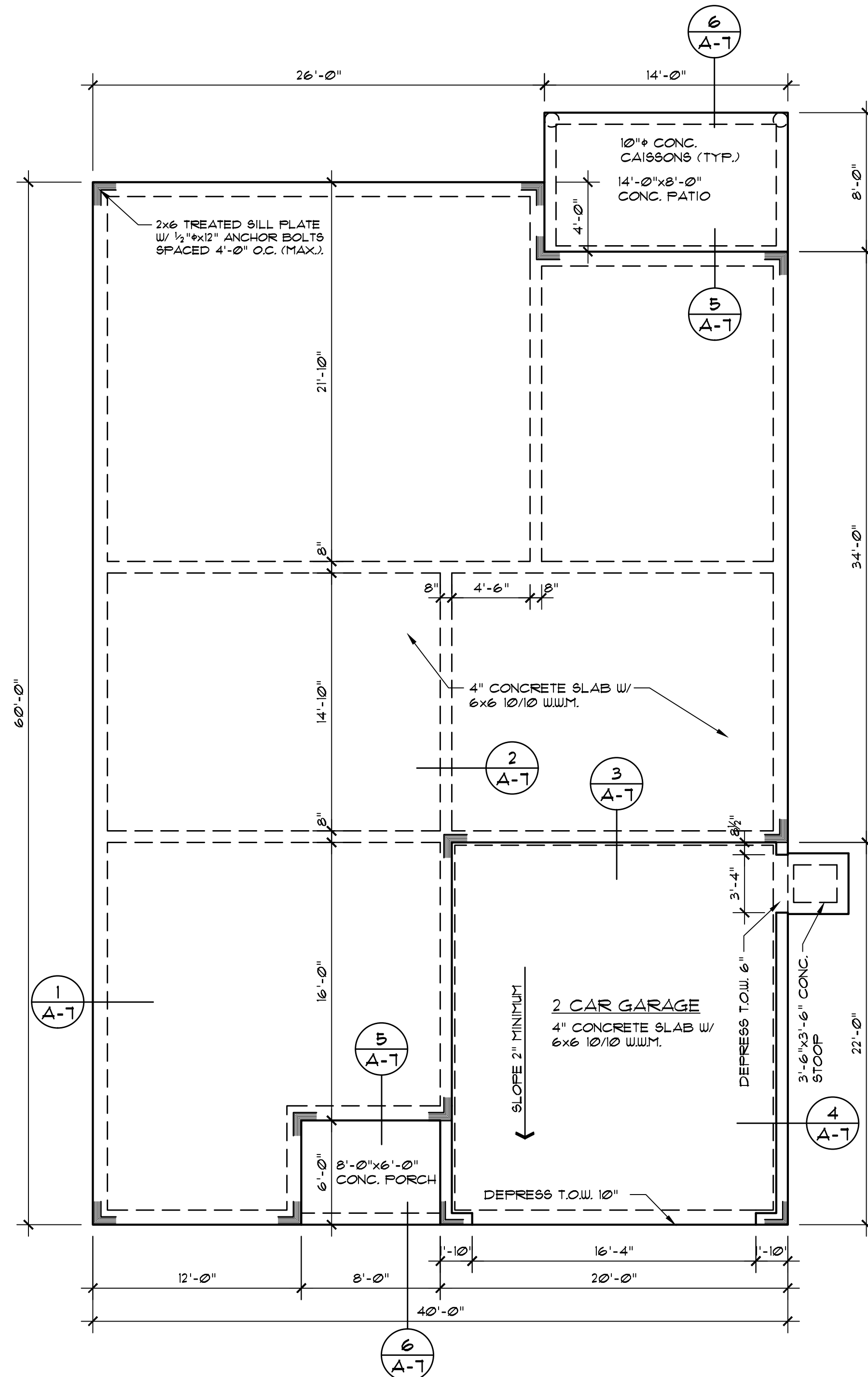
sheet no.

A3 of 11

NOTE: Foundation design shown on these drawings are conceptual only. Actual foundation design by others. Foundation design to be based upon site soil conditions and building code requirements.

NOTE: CONC. TO ACHIEVE 3000 PSI COMP. STRENGTH MINIMUM IN 28 DAYS.

NOTE: INSTALL RIDGED INSUL. TO CONC. SLAB AS REQUIRED BY IECC 2021 CLIMATE ZONE.



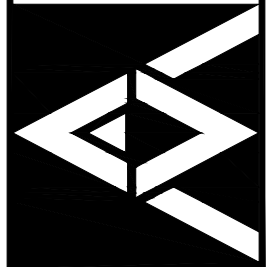
1 CONCRETE SLAB FLOOR PLAN
SCALE 3/16" = 1'-0"

model no.

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date:
01-23-25

revised:

sheet index:
CONC. SLAB
FLOOR PLAN

sheet no.

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Seward Housing Project Concrete Work RFP
RurAL CAP-HS-25-R-008

Attachment 1

Bid Sheet (Please use your own bid-sheet for each location if the template below is too small to cover each task on the list below)

SERVICES	Bid Offer
Lot 29: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 37: Monolithic concrete slabs for 3 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 38: Monolithic concrete slabs for 3 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 41: Monolithic concrete slabs for 3 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 42: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 43: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 44: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 45: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 46: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Lot 47: Monolithic concrete slabs for 4 Bedroom Home In floor heating (installed by the plumbers) Styrofoam must meet (5 star +) energy rating requirements	
Total:	

Supplier Bid Offer By:	
Authorized Name:	
Authorized Signature:	
Title:	
Date:	